

**NOTES**

- 1 The contents of this drawing are copyright.
- 2 Scaled drawings for planning purposes only.
- 3 Contractors must verify all dimensions and report any discrepancies before putting work in hand or making any shop drawings.
- 4 All flat roofs to be fitted with a man safe system.
- 5 Please note a domestic sprinkler system may be required.
- 6 Fixed shut fire safety glass windows may be required where windows are in close proximity to boundaries (subject to building regulations).

**LEGEND**

**MATERIAL SCHEDULE:**

**WALLS :**

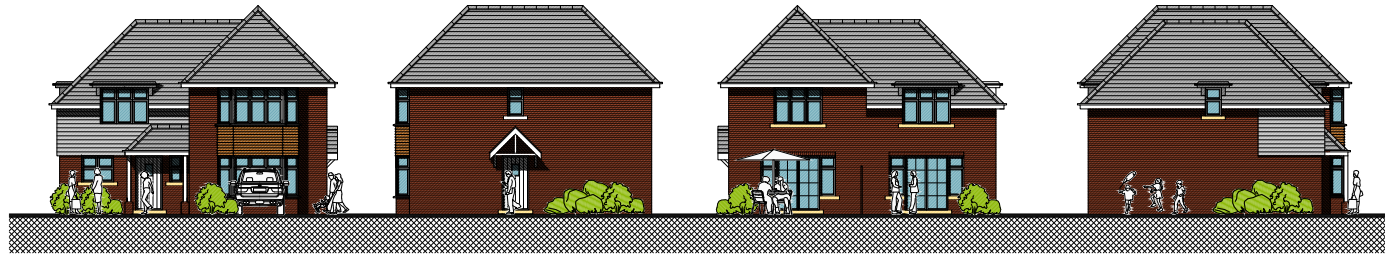
- 1. RED BRICK
- 2. BOARDING
- 3. TILE HANG

**ROOF :**

- 1. SLATE EFFECT TILES

**WINDOWS :**

- 1. UPVC

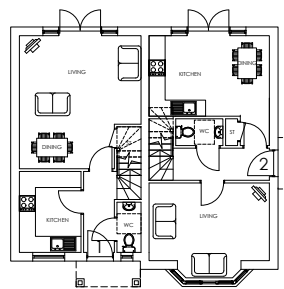


FRONT / NW ELEVATION  
SCALE 1:100

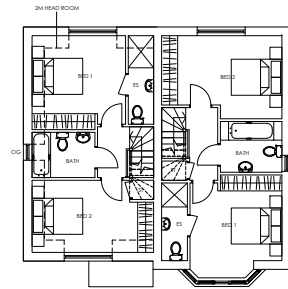
SIDE / SW ELEVATION  
SCALE 1:100

REAR / SE ELEVATION  
SCALE 1:100

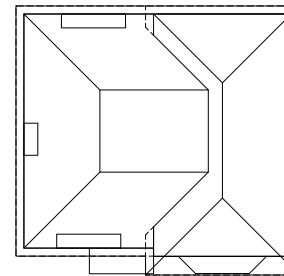
SIDE / NE ELEVATION  
SCALE 1:100



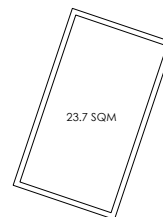
GROUND FLOOR PLAN  
SCALE 1:100



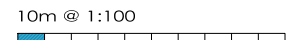
FIRST FLOOR PLAN  
SCALE 1:100



ROOF PLAN  
SCALE 1:100



EXISTING GARAGE TO BE DEMOLISHED  
SCALE 1:100



**UNIT SCHEDULE:**

- UNIT 1 = 2 BED SEMI DETACHED HOUSE @ 73.8 SQM / 794 SQFT
- UNIT 2 = 2 BED SEMI DETACHED HOUSE @ 78.6 SQM / 845 SQFT

TOTAL PROPOSED GIA = 152.4 SQM  
GIA TO BE DEMOLISHED = 23.7 SQM

No.	Revision.	date	by

PROPOSED DEVELOPMENT,  
98 & 100 HENNINGS PARK ROAD,  
POOLE  
BH15 3SB

**PROPOSED FLOOR PLANS, ELEVATIONS  
& EXISTING GARAGE PLAN**

scale	A5 SHOWN @ A1	checked	
date	APRIL 2018	drawn	KU

9024/101

ARC Architecture Ltd.

