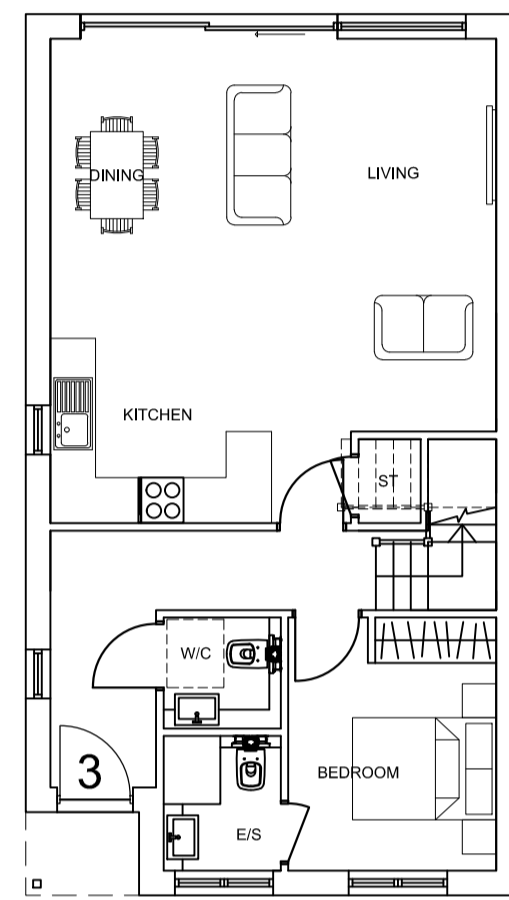


PROPOSED FRONT / SOUTH ELEVATION  
SCALE 1:100

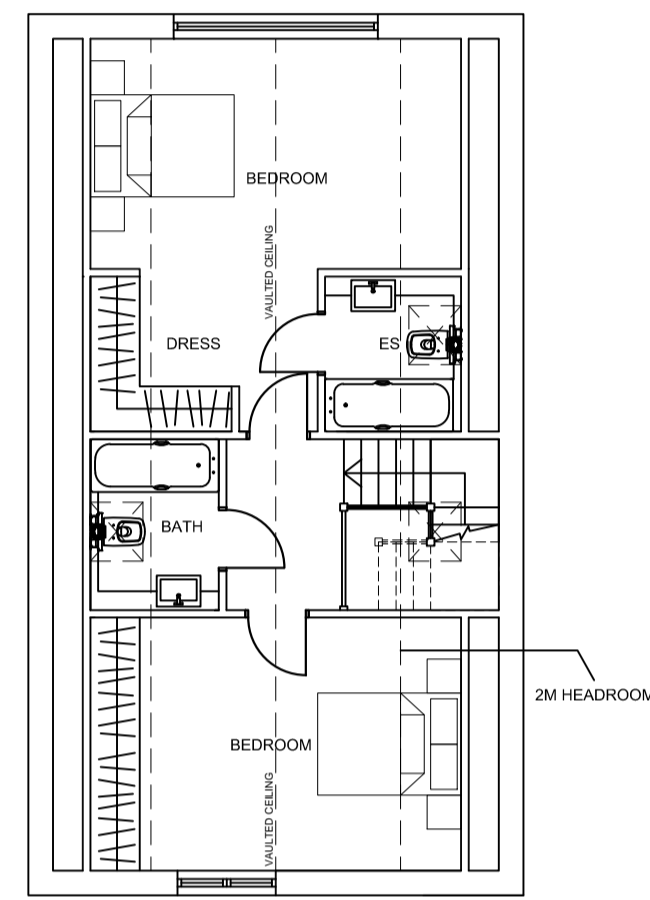
PROPOSED SIDE / EAST ELEVATION  
SCALE 1:100

PROPOSED REAR / NORTH ELEVATION  
SCALE 1:100

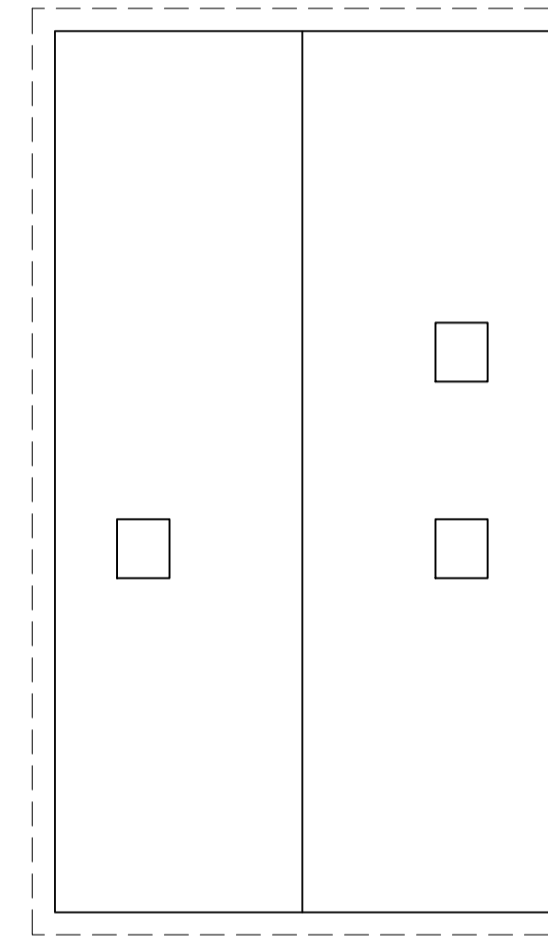
PROPOSED SIDE / WEST ELEVATION  
SCALE 1:100



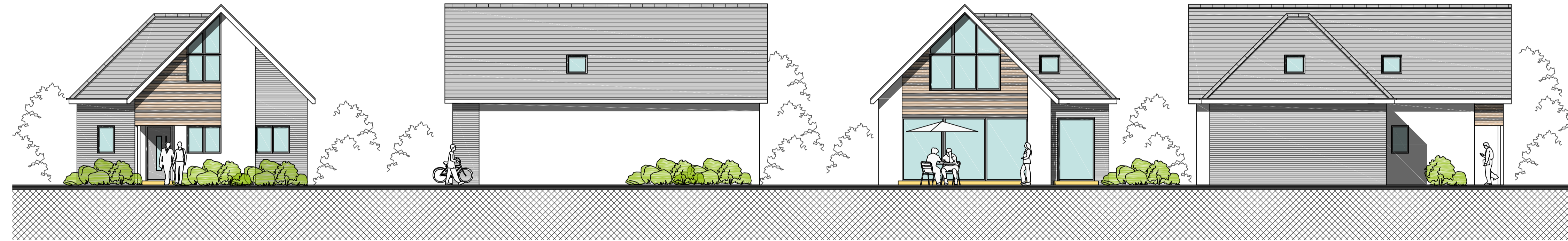
PROPOSED GROUND FLOOR PLAN  
SCALE 1:100



PROPOSED FIRST FLOOR PLAN  
SCALE 1:100



PROPOSED ROOF PLAN  
SCALE 1:100

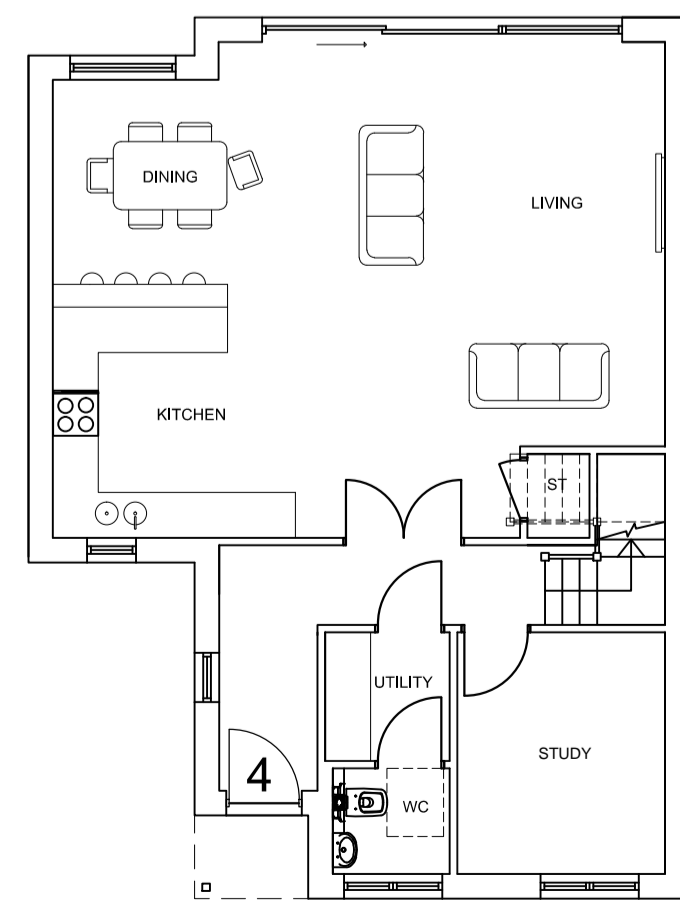


PROPOSED FRONT / SOUTH ELEVATION  
SCALE 1:100

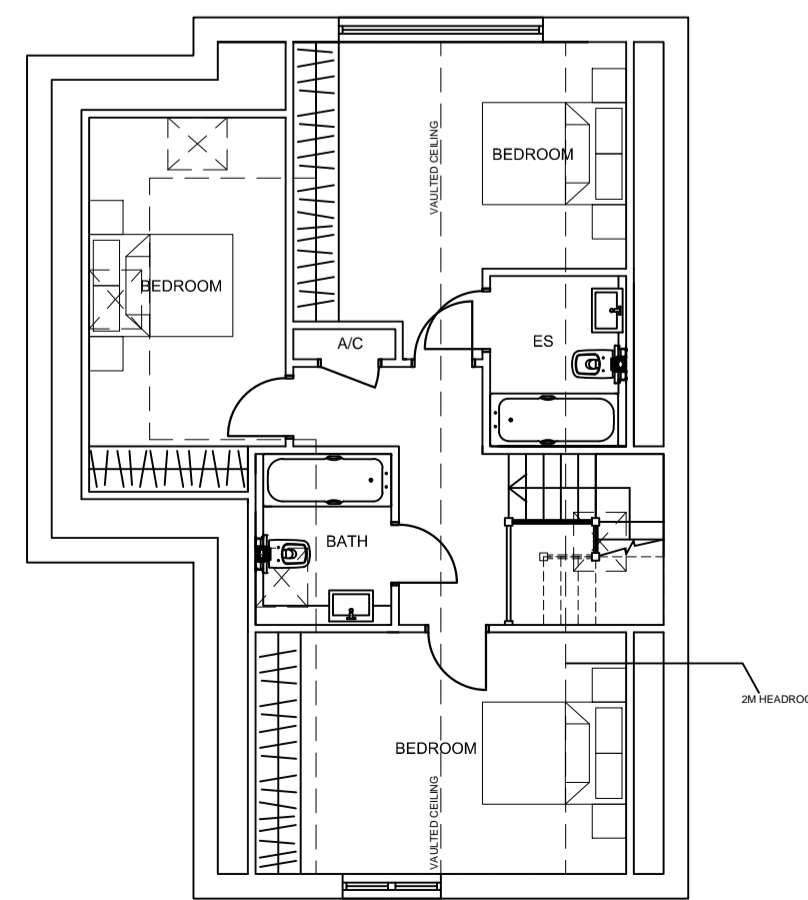
PROPOSED SIDE / EAST ELEVATION  
SCALE 1:100

PROPOSED REAR / NORTH ELEVATION  
SCALE 1:100

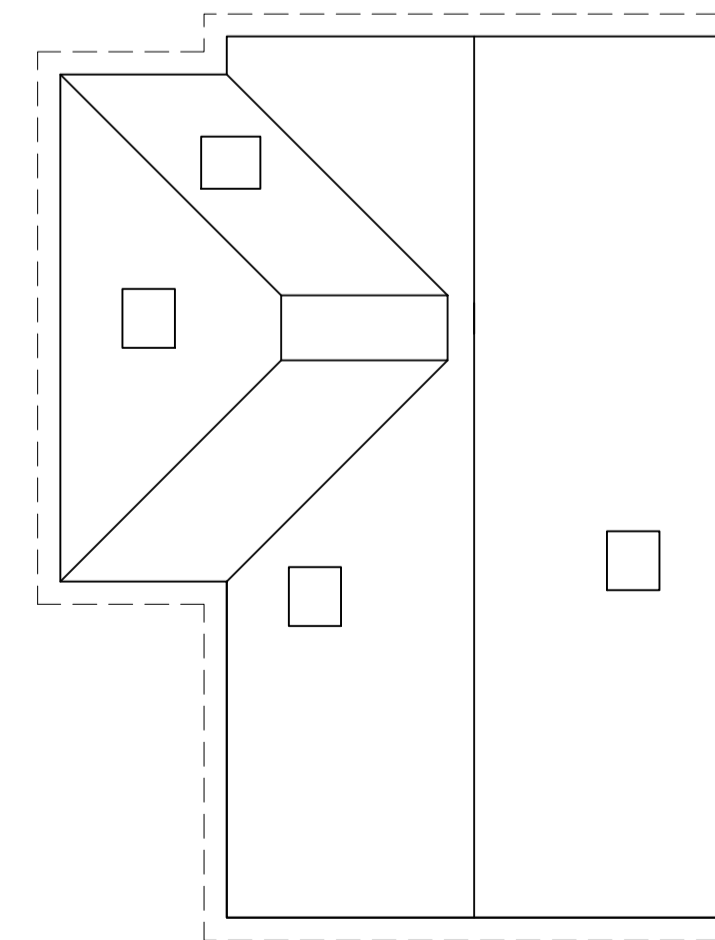
PROPOSED SIDE / WEST ELEVATION  
SCALE 1:100



PROPOSED GROUND FLOOR PLAN  
SCALE 1:100



PROPOSED FIRST FLOOR PLAN  
SCALE 1:100



PROPOSED ROOF PLAN  
SCALE 1:100

NOTES

1. The contents of this drawing are copyright.
2. Do not scale. Figured dimensions only to be used.
3. Contractors must verify all dimensions and report any discrepancies before putting work in hand or making any shop drawings.
4. All flat roofs to be fitted with a man safe system.
5. Please note a domestic sprinkler system may be required - check with your building control inspector.
6. Fixed shut fire safety glass windows may be required where windows are in close proximity to boundaries (subject to building regulations).
7. Stair design to be independently checked by stair fabricator for regs. compliance, prior to construction/ordering.
8. Macleanian waterproofing specialists (or similar company with relevant PI insurance) to be instructed and detail all basement waterproofing designs. - ARC carry no responsibility for basement designs in terms of waterproofing or structure in any way.
9. "AS BUILT" drawings will only be issued upon request from the client/ contractor. All information within as built drawings is to be confirmed and provided by the client/ contractor. ARC Architecture do not perform regular site inspections to guarantee as built information so contractor or client must sign a letter from ARC to confirm compliance with our plans on site.
10. Any discrepancies between specification notes and details must be clarified for design intention with ARC before continuing with construction.
11. At Building Regulation stage our instruction is to gain a certificate of building regulations compliance from the chosen Inspector (LA or Private).
12. To ensure compliance with EN54 fire safety forms an independent and an appropriately qualified and insured fire consultant / engineer should be appointed by the client to ensure the finished project can be mortgaged.
13. A design and risk assessment should form part of our drawing package, if you have not received this from us by post, email or collection please contact us for a copy before moving forward with the project.
14. At planning stage planning drawings are to only be used for planning purposes.

MATERIAL SCHEDULE:

- WALLS :
1. WHITE RENDER
  2. LARCH CLADDING
- ROOF :
1. SLATE EFFECT TILES
- WINDOWS :
1. ANTHRACITE GREY ALUMINIUM

10m @ 1:100

SCHEDULE OF ACCOMMODATION

PLOT 3 = 3 BEDROOM CHALET BUNGALOW @ 118.2 SQM / 1271  
 PLOT 4 = 3 BEDROOM CHALET BUNGALOW @ 141.9 SQM 1526 SQF T

No.	Revision.	date	by

R/O 41-45 NORTHBROOK ROAD  
 BROADSTONE  
 POOLE  
 BH18 8HD

PLOT 3 - 4 PROPOSED FLOOR PLANS & ELEVATIONS

scale AS SHOWN @ A1	checked
date JUNE 2020	drawn JA

9283 / 202